



**Instrument No.** 11497013.2  
**Status** Registered  
**Date & Time Lodged** 16 Jul 2019 09:41  
**Lodged By** Hunt, William Patrick  
**Instrument Type** Land Covenant under s116(1)(a) or (b) Land Transfer Act 2017



Affected Records of Title	Land District
692755	North Auckland
692756	North Auckland
692757	North Auckland
692758	North Auckland
692759	North Auckland
692760	North Auckland
696837	North Auckland

**Annexure Schedule** Contains 6 Pages.

#### Covenantor Certifications

I certify that I have the authority to act for the Covenantor and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

#### Signature

Signed by William Patrick Hunt as Covenantor Representative on 15/07/2019 07:43 PM

#### Covenantee Certifications

I certify that I have the authority to act for the Covenantee and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

#### Signature

Signed by William Patrick Hunt as Covenantee Representative on 15/07/2019 07:43 PM

\*\*\* End of Report \*\*\*

Form 26

**Covenant Instrument to note land covenant**

(Section 116(1)(a) &amp; (b) Land Transfer Act 2017)

**Covenantor**

<b>SH 16 LIMITED</b>
----------------------

**Covenantee**

<b>SH 16 LIMITED</b>
<b>RAUHORI FORESTS LIMITED</b>
<b>FOREST HABITATS LIMITED</b>

**Grant of Covenant**

The <b>Covenantor</b> , being the registered owner of the burdened land(s) set out in Schedule A, <b>grants to the Covenantee</b> (and, if so stated, in gross) the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).
--

**Schedule A***Continue in additional Annexure Schedule, if required*

Purpose of covenant	Shown (plan reference)	Burdened Land (Record of Title)	Benefited Land (Record of Title) or in gross
Land covenant as set out in Clauses 3 and 4 of the attached Schedule A	See First Schedule Annexure Schedule A		

**Covenant rights and powers (including terms, covenants and conditions)**

*Delete phrases in [ ] and insert memorandum number as required.  
Continue in additional Annexure Schedule if required.*

The provisions applying to the specified covenants are those set out in:

~~[Memorandum number \_\_\_\_\_, registered under section 209 of the Land Transfer Act 2017].~~

Annexure Schedule A.

**Form L**

---

**Annexure Schedule A**

Page 1 of 3 Pages

*Insert instrument type*

<b>Land Covenant</b>
----------------------

## **BACKGROUND**

- A. The Covenantor is the registered proprietor of the Burdened Land and the Benefited Land.
- B. The Burdened Land and the Benefited Land are part of a rural residential estate ("the rural estate").
- C. The Covenantor has agreed to create the covenants as set out herein in favour of the Covenantee in order to ensure that the character of the rural estate is maintained, preserved and enhanced.

## **DEFINITIONS AND INTERPRETATION**

### **1.1 Definitions**

"the Developer" means SH 16 Limited or any person or entity appointed or nominated in writing by them to be the Developer. Where the Developer has been dissolved, wound up, deregistered or otherwise passed out of existence any approval or consent required from the Developer shall mean approval or consent by any party previously appointed and/or nominated in writing by the Developer for this purpose.

"Burdened Land" means the Lots shown as Burdened Land set out in the First Schedule.

"Benefited Land" means the land shown as Benefited Land in the First Schedule for the purposes of the covenants set out in clause 3; and the Lots shown as Benefited Land in the Second Schedule for the purposes of the covenants set out in clause 4.

"the Lots" means Lots 1, 2, 3, 4, 5 and 6 Deposited Plan 486187.

"the Covenantee" means the owners for the time being of the Benefited Land and includes their respective successors transferees and assigns.

"the Covenantor" means the owners for the time being of the Burdened Land and includes their respective successors transferees and assigns.

### **1.2 Interpretation**

- (a) words and expressions denoting the singular shall where the context so requires include the plural and vice versa.
- (b) headings have been inserted for guidance only, and shall not be deemed to form part of the context of this instrument.

## **COVENANTS**

### **2. Agreement**

- 2.1 The Covenantor, for itself so as to bind the Burdened Land in the First Schedule, covenants and agrees with the Covenantee (for the benefit of the Covenantee and the registered proprietor from time to time of the Benefited Land) that the Covenantor shall always observe and perform all of the covenants set out in Clause 3.0 of this instrument until the 31<sup>st</sup> of December 2030 at which time the covenants shall cease to apply to the end and intent that each of the covenants shall enure for the benefit of the registered proprietor from time to time of the Benefited Land until the 31<sup>st</sup> of December 2030.
- 2.2 The Covenantor, for itself so as to bind the Burdened Land in the First Schedule, covenants and agrees with the Covenantee that the Covenantor shall for all times observe and perform all of the covenants set out in Clause 4.0 of this instrument.

- 2.3 The covenants in this instrument shall be enforceable by the Covenantee (and the Covenantee's assigns, transferees or successors) against the Covenantor as owner of the Burdened Land and his, her or its successors in title, transferees, assigns and occupiers for the time being of the Burdened Land.
- 2.4 No delay or failure by the Covenantee to enforce performance of any covenants set out in this instrument and no indulgence granted to the Covenantor by the Covenantee shall prejudice the right of the Covenantee to enforce any of the covenants or provisions of this instrument.
- 2.5 The Covenantor shall bear any costs which may be incurred by the Covenantee as a result of any default by the Covenantor under this instrument.
- 2.6 The Covenantee shall not be required to nor obliged to enforce all or any of the covenants and the Covenantor shall be liable only in respect of breaches of the covenants which occur while the Covenantor is registered as proprietor of the Burdened Land.
- 2.7 If there is any breach or non observance of the covenants set out in this Instrument then the Covenantor must (without prejudice to any other liability the Covenantor may have to any person having the benefit of the covenants):
- (a) cease any activity in breach or non-observance of the covenants;
  - (b) otherwise remedy any breach or non-observance of the covenants.

### **3.0 The Covenantor shall:**

- (i) not permit or suffer the use of the Burdened Land for any purpose other than predominantly residential use nor use the Burdened Land for commercial farming or animal boarding facilities, unless approved in writing by the Developer.
- (ii) not permit or suffer any rubbish to accumulate or to be placed upon the Burdened Land, and at all times to maintain the Burdened Land including keeping the grass mowed or grazed so the grass does not exceed 150mm in height.
- (iii) not permit any immobile/unroadworthy vehicles to be stored on the Burdened Land unless those vehicles are stored within an enclosed shed or garage.
- (iv) not permit weeds to grow upon the Burdened Land.
- (v) complete the exterior construction of any dwelling, or accessory building on the Burdened Land within twelve months of the date of commencement of the building.
- (vi) not locate on the Burdened Land a dwelling which is "second hand" unless such dwelling is approved in writing by the Developer.
- (vii) not allow any temporary building or structure to be erected on the Burdened Land except that which may be used in conjunction with the construction of permanent buildings and which will be removed from the Burdened Land upon completion of the said construction.
- (viii) not permit any telecom or electricity services to be provided by "overhead" means to the dwelling (and any other structures/buildings to be erected on the Burdened Land). All other utilities and services must be by underground means from the road to the dwelling and other structures/buildings to be erected on the Burdened Land.

### **4. Lot 7 covenants**

- 4.1 The Covenantor, as a registered proprietor of the Burdened Land set out in the First Schedule shall, at the Covenantor's cost (which is to be shared equally between each owner of the Burdened Land), keep the right of way access (Lot 7 DP 486187) to the Burdened Land in a tidy orderly and safe condition, free of excess vegetation, and not allow any grass or weeds thereon to grow to a height greater than 200mm; and shall keep the right of way access clear at all times of obstructions (whether caused by parked vehicles, deposit of materials, or unreasonable impediment).

**5. Fencing**

- 5.1 The Developer shall not be required nor shall it be called upon to repair or contribute towards the cost of erection or repair of any dividing or boundary fence between any of the Lots and any contiguous land owned by the Developer, but this proviso shall not enure for the benefit of any subsequent registered proprietor of such contiguous land.

**6. Indemnity and Consequences of Breach**

- 6.1 The Covenantor covenants with the Covenantee that it will at all times save harmless and keep indemnified the Covenantee from all proceedings, costs, claims and demands in respect of breaches by the Covenantor of the covenants on its part contained or implied herein, and also the enforcement of such covenants by the Covenantee.
- 6.2 The Covenantor acknowledges that the value of the Benefited Land will be affected by any non-compliance with or breach of any of the covenants contained or implied herein and the Covenantor covenants for the benefit of the Benefited Land and of each registered proprietor of the Benefited Land from time to time that should the Covenantor fail to comply with, observe, perform or complete any of the covenants contained or implied herein then without prejudice to any other liability the Covenantor may have to the Covenantee (which includes any other person or body having the benefit of such covenants) the Covenantor shall:
- (a) immediately permanently remove or cause to be permanently removed from the Lot upon which the breach or failure has occurred any offending improvements or structure or other cause of any breach or non-observance of such covenants; and otherwise forthwith remedy the breach or non-observance thereof; and
  - (b) if the breach or failure is not remedied within 60 days of the date of notice of such breach or failure then the Covenantee (together with its agents, employees or contractors) shall be entitled to enter onto the Burdened Land to arrange for rectification of the Covenantor's breach or failure at the cost of the Covenantor.

**7.0 General**

- 7.1 The covenants set out in clause 3.0 of this Instrument shall run with the Burdened Land set out in the First Schedule for the benefit of the Benefited Land described in the First Schedule TO THE INTENT that the Covenantor and Covenantee shall continue to be bound until the earlier of the 31<sup>st</sup> of December 2030 or the date upon which they respectively cease to hold a fee simple estate in a Burdened Land as the case may be but without prejudice to any liability for any breach of covenant under this Instrument arising before such date.

**FIRST SCHEDULE**

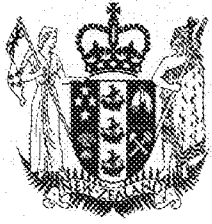
**Burdened Land**

**Benefited Land**

Record of Title 692755	Lots 8 and 10 Deposited Plan 438073 and Lot 9 Deposited Plan 487280, being the land contained in Record of Title 696837
Record of Title 692756	
Record of Title 692757	
Record of Title 692758	
Record of Title 692759	
Record of Title 692760	

**SECOND SCHEDULE**

<b>Burdened Land</b>	<b>Benefited Land</b>
Record of Title 692755	Record of Title 692756, 692757, 692758, 692759 and 692760
Record of Title 692756	Record of Title 692755, 692757, 692758, 692759 and 692760
Record of Title 692757	Record of Title 692755, 692756, 692758, 692759 and 692760
Record of Title 692758	Record of Title 692755, 692756, 692757, 692759 and 692760
Record of Title 692759	Record of Title 692755, 692756, 692757, 692758 and 692760
Record of Title 692760	Record of Title 692755, 692756, 692757, 692758 and 692759



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692755**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 5.6021 hectares more or less  
**Legal Description** Lot 1 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm

Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)

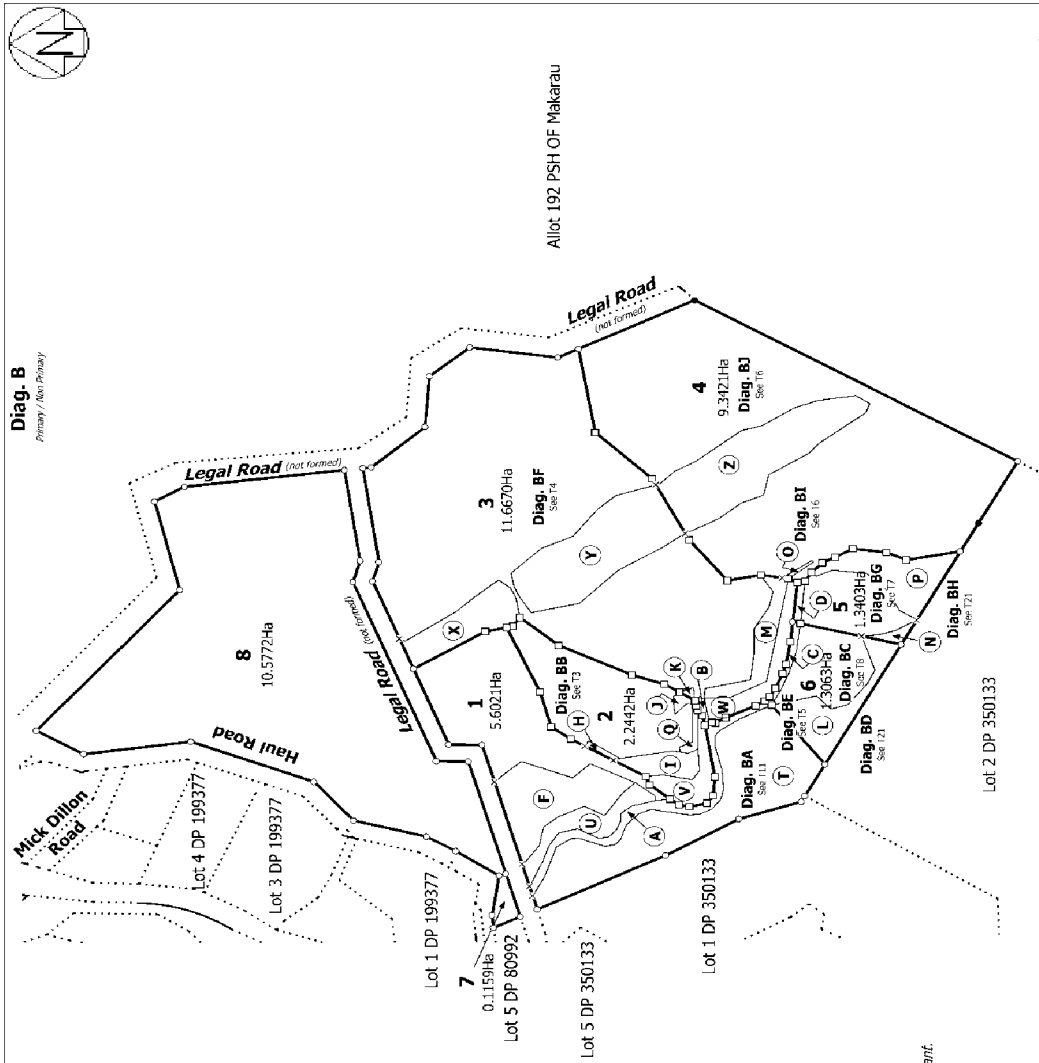
Subject to a right of way, a right to convey electricity and a right to convey telecommunications and computer media over part Lot 1 DP 486187 marked A on DP 486187 created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm

The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity, telecommunications and computer media over part Lot 1 DP 486187 marked A on DP 486187 and over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm

Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am





**Note:**  
To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486187.

**Amalgamation Conditions:**  
Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
Lot 7 (access Lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**  
(DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
(DP 486188) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.  
The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.

R60753

Land District: North Auckland  
Digitally Generated Plan  
Generated on: 20/06/2017 5:56pm Page 5 of 15

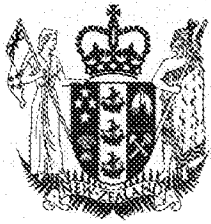
Lot 1 DP 199377  
Lot 2 DP 350133  
Lot 3 DP 199377  
Lot 4 DP 199377  
Lot 5 DP 80992  
Lot 6 DP 350133  
Lot 7 DP 199377  
Lot 8 DP 350133

Diag. B  
Primary / Main Highway  
Legal Road (not formed)  
Legal Road (not formed)  
Haul Road  
Mick Dillon Road  
Proposed Road  
Diag. BA  
Diag. BB  
Diag. BC  
Diag. BD  
Diag. BE  
Diag. BF  
Diag. BG  
Diag. BH  
Diag. BI  
Diag. BJ  
Diag. BK  
Diag. BL  
Diag. BM  
Diag. BN  
Diag. BO  
Diag. BP  
Diag. BQ  
Diag. BR  
Diag. BS  
Diag. BT  
Diag. BU  
Diag. BV  
Diag. BW  
Diag. BX  
Diag. BY  
Diag. BZ  
Diag. CA  
Diag. CB  
Diag. CC  
Diag. CD  
Diag. CE  
Diag. CF  
Diag. CG  
Diag. CH  
Diag. CI  
Diag. CJ  
Diag. CK  
Diag. CL  
Diag. CM  
Diag. CN  
Diag. CO  
Diag. CP  
Diag. CQ  
Diag. CR  
Diag. CS  
Diag. CT  
Diag. CU  
Diag. CV  
Diag. CW  
Diag. CX  
Diag. CY  
Diag. CZ  
Diag. DA  
Diag. DB  
Diag. DC  
Diag. DD  
Diag. DE  
Diag. DF  
Diag. DG  
Diag. DH  
Diag. DI  
Diag. DJ  
Diag. DK  
Diag. DL  
Diag. DM  
Diag. DN  
Diag. DO  
Diag. DP  
Diag. DQ  
Diag. DR  
Diag. DS  
Diag. DT  
Diag. DU  
Diag. DV  
Diag. DW  
Diag. DX  
Diag. DY  
Diag. DZ  
Diag. EA  
Diag. EB  
Diag. EC  
Diag. ED  
Diag. EE  
Diag. EF  
Diag. EG  
Diag. EH  
Diag. EI  
Diag. EJ  
Diag. EK  
Diag. EL  
Diag. EM  
Diag. EN  
Diag. EO  
Diag. EP  
Diag. EQ  
Diag. ER  
Diag. ES  
Diag. ET  
Diag. EU  
Diag. EV  
Diag. EW  
Diag. EX  
Diag. EY  
Diag. EZ  
Diag. FA  
Diag. FB  
Diag. FC  
Diag. FD  
Diag. FE  
Diag. FG  
Diag. FH  
Diag. FI  
Diag. FJ  
Diag. FK  
Diag. FL  
Diag. FM  
Diag. FN  
Diag. FO  
Diag. FP  
Diag. FQ  
Diag. FR  
Diag. FS  
Diag. FT  
Diag. FU  
Diag. FV  
Diag. FW  
Diag. FX  
Diag. FY  
Diag. FZ  
Diag. GA  
Diag. GB  
Diag. GC  
Diag. GD  
Diag. GE  
Diag. GF  
Diag. GG  
Diag. GH  
Diag. GI  
Diag. GJ  
Diag. GK  
Diag. GL  
Diag. GM  
Diag. GN  
Diag. GO  
Diag. GP  
Diag. GQ  
Diag. GR  
Diag. GS  
Diag. GT  
Diag. GU  
Diag. GV  
Diag. GW  
Diag. GX  
Diag. GY  
Diag. GZ  
Diag. HA  
Diag. HB  
Diag. HC  
Diag. HD  
Diag. HE  
Diag. HF  
Diag. HG  
Diag. HH  
Diag. HI  
Diag. HJ  
Diag. HK  
Diag. HL  
Diag. HM  
Diag. HN  
Diag. HO  
Diag. HP  
Diag. HQ  
Diag. HR  
Diag. HS  
Diag. HT  
Diag. HU  
Diag. HV  
Diag. HW  
Diag. HX  
Diag. HY  
Diag. HZ  
Diag. IA  
Diag. IB  
Diag. IC  
Diag. ID  
Diag. IE  
Diag. IF  
Diag. IG  
Diag. IH  
Diag. II  
Diag. IJ  
Diag. IK  
Diag. IL  
Diag. IM  
Diag. IN  
Diag. IO  
Diag. IP  
Diag. IQ  
Diag. IR  
Diag. IS  
Diag. IT  
Diag. IU  
Diag. IV  
Diag. IW  
Diag. IX  
Diag. IY  
Diag. IZ  
Diag. JA  
Diag. JB  
Diag. JC  
Diag. JD  
Diag. JE  
Diag. JF  
Diag. JG  
Diag. JH  
Diag. JI  
Diag. JJ  
Diag. JK  
Diag. JL  
Diag. JM  
Diag. JN  
Diag. JO  
Diag. JP  
Diag. JQ  
Diag. JR  
Diag. JS  
Diag. JT  
Diag. JU  
Diag. JV  
Diag. JW  
Diag. JX  
Diag. JY  
Diag. JZ  
Diag. KA  
Diag. KB  
Diag. KC  
Diag. KD  
Diag. KE  
Diag. KF  
Diag. KG  
Diag. KH  
Diag. KI  
Diag. KJ  
Diag. KL  
Diag. KM  
Diag. KN  
Diag. KO  
Diag. KP  
Diag. KQ  
Diag. KR  
Diag. KS  
Diag. KT  
Diag. KU  
Diag. KV  
Diag. KW  
Diag. KX  
Diag. KY  
Diag. KZ  
Diag. LA  
Diag. LB  
Diag. LC  
Diag. LD  
Diag. LE  
Diag. LF  
Diag. LG  
Diag. LH  
Diag. LI  
Diag. LJ  
Diag. LK  
Diag. LL  
Diag. LM  
Diag. LN  
Diag. LO  
Diag. LP  
Diag. LQ  
Diag. LR  
Diag. LS  
Diag. LT  
Diag. LU  
Diag. LV  
Diag. LW  
Diag. LX  
Diag. LY  
Diag. LZ  
Diag. MA  
Diag. MB  
Diag. MC  
Diag. MD  
Diag. ME  
Diag. MF  
Diag. MG  
Diag. MH  
Diag. MI  
Diag. MJ  
Diag. MK  
Diag. ML  
Diag. MN  
Diag. MO  
Diag. MP  
Diag. MQ  
Diag. MR  
Diag. MS  
Diag. MT  
Diag. MU  
Diag. MV  
Diag. MW  
Diag. MX  
Diag. MY  
Diag. MZ  
Diag. NA  
Diag. NB  
Diag. NC  
Diag. ND  
Diag. NE  
Diag. NF  
Diag. NG  
Diag. NH  
Diag. NI  
Diag. NJ  
Diag. NK  
Diag. NL  
Diag. NM  
Diag. NO  
Diag. NP  
Diag. NQ  
Diag. NR  
Diag. NS  
Diag. NT  
Diag. NU  
Diag. NV  
Diag. NW  
Diag. NX  
Diag. NY  
Diag. NZ  
Diag. OA  
Diag. OB  
Diag. OC  
Diag. OD  
Diag. OE  
Diag. OF  
Diag. OG  
Diag. OH  
Diag. OI  
Diag. OJ  
Diag. OK  
Diag. OL  
Diag. OM  
Diag. ON  
Diag. OO  
Diag. OP  
Diag. OQ  
Diag. OR  
Diag. OS  
Diag. OT  
Diag. OU  
Diag. OV  
Diag. OW  
Diag. OX  
Diag. OY  
Diag. OZ  
Diag. PA  
Diag. PB  
Diag. PC  
Diag. PD  
Diag. PE  
Diag. PF  
Diag. PG  
Diag. PH  
Diag. PI  
Diag. PJ  
Diag. PK  
Diag. PL  
Diag. PM  
Diag. PN  
Diag. PO  
Diag. PP  
Diag. PQ  
Diag. PR  
Diag. PS  
Diag. PT  
Diag. PU  
Diag. PV  
Diag. PW  
Diag. PX  
Diag. PY  
Diag. PZ  
Diag. QA  
Diag. QB  
Diag. QC  
Diag. QD  
Diag. QE  
Diag. QF  
Diag. QG  
Diag. QH  
Diag. QI  
Diag. QJ  
Diag. QK  
Diag. QL  
Diag. QM  
Diag. QN  
Diag. QO  
Diag. QP  
Diag. QQ  
Diag. QR  
Diag. QS  
Diag. QT  
Diag. QU  
Diag. QV  
Diag. QW  
Diag. QX  
Diag. QY  
Diag. QZ  
Diag. RA  
Diag. RB  
Diag. RC  
Diag. RD  
Diag. RE  
Diag. RF  
Diag. RG  
Diag. RH  
Diag. RI  
Diag. RJ  
Diag. RK  
Diag. RL  
Diag. RM  
Diag. RN  
Diag. RO  
Diag. RP  
Diag. RQ  
Diag. RR  
Diag. RS  
Diag. RT  
Diag. RU  
Diag. RV  
Diag. RW  
Diag. RX  
Diag. RY  
Diag. RZ  
Diag. SA  
Diag. SB  
Diag. SC  
Diag. SD  
Diag. SE  
Diag. SF  
Diag. SG  
Diag. SH  
Diag. SI  
Diag. SJ  
Diag. SK  
Diag. SL  
Diag. SM  
Diag. SN  
Diag. SO  
Diag. SP  
Diag. SQ  
Diag. SR  
Diag. SS  
Diag. ST  
Diag. SU  
Diag. SV  
Diag. SW  
Diag. SX  
Diag. SY  
Diag. SZ  
Diag. TA  
Diag. TB  
Diag. TC  
Diag. TD  
Diag. TE  
Diag. TF  
Diag. TG  
Diag. TH  
Diag. TI  
Diag. TJ  
Diag. TK  
Diag. TL  
Diag. TM  
Diag. TN  
Diag. TO  
Diag. TP  
Diag. TQ  
Diag. TR  
Diag. TS  
Diag. TT  
Diag. TU  
Diag. TV  
Diag. TW  
Diag. TX  
Diag. TY  
Diag. TZ  
Diag. UA  
Diag. UB  
Diag. UC  
Diag. UD  
Diag. UE  
Diag. UF  
Diag. UG  
Diag. UH  
Diag. UI  
Diag. UJ  
Diag. UK  
Diag. UL  
Diag. UM  
Diag. UN  
Diag. UO  
Diag. UP  
Diag. UQ  
Diag. UR  
Diag. US  
Diag. UT  
Diag. UY  
Diag. UZ  
Diag. VA  
Diag. VB  
Diag. VC  
Diag. VD  
Diag. VE  
Diag. VF  
Diag. VG  
Diag. VH  
Diag. VI  
Diag. VJ  
Diag. VK  
Diag. VL  
Diag. VM  
Diag. VN  
Diag. VO  
Diag. VP  
Diag. VQ  
Diag. VR  
Diag. VS  
Diag. VT  
Diag. VU  
Diag. VV  
Diag. VW  
Diag. VX  
Diag. VY  
Diag. VZ  
Diag. WA  
Diag. WB  
Diag. WC  
Diag. WD  
Diag. WE  
Diag. WF  
Diag. WG  
Diag. WH  
Diag. WI  
Diag. WJ  
Diag. WK  
Diag. WL  
Diag. WM  
Diag. WN  
Diag. WO  
Diag. WP  
Diag. WQ  
Diag. WR  
Diag. WS  
Diag. WT  
Diag. WY  
Diag. WZ  
Diag. XA  
Diag. XB  
Diag. XC  
Diag. XD  
Diag. XE  
Diag. XF  
Diag. XG  
Diag. XH  
Diag. XI  
Diag. XJ  
Diag. XK  
Diag. XL  
Diag. XM  
Diag. XN  
Diag. XO  
Diag. XP  
Diag. XQ  
Diag. XR  
Diag. XS  
Diag. XT  
Diag. XU  
Diag. XV  
Diag. XW  
Diag. XX  
Diag. XY  
Diag. XZ  
Diag. YA  
Diag. YB  
Diag. YC  
Diag. YD  
Diag. YE  
Diag. YF  
Diag. YG  
Diag. YH  
Diag. YI  
Diag. YJ  
Diag. YK  
Diag. YL  
Diag. YM  
Diag. YN  
Diag. YO  
Diag. YP  
Diag. YQ  
Diag. YR  
Diag. YS  
Diag. YT  
Diag. YU  
Diag. YV  
Diag. YW  
Diag. YX  
Diag. YZ  
Diag. ZA  
Diag. ZB  
Diag. ZC  
Diag. ZD  
Diag. ZE  
Diag. ZF  
Diag. ZG  
Diag. ZH  
Diag. ZI  
Diag. ZJ  
Diag. ZK  
Diag. ZL  
Diag. ZM  
Diag. ZN  
Diag. ZO  
Diag. ZP  
Diag. ZQ  
Diag. ZR  
Diag. ZS  
Diag. ZT  
Diag. ZU  
Diag. ZV  
Diag. ZW  
Diag. ZX  
Diag. ZY  
Diag. ZZ

Title Plan  
LT 486187  
Approved on: 20/06/2017

Surveyor: Richard Alan Bull  
Firm: C & R Surveys Ltd

Lot 1-8 being subdivision of Lot 12 & 13 DP 79858.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **696837**  
**Land Registration District** **North Auckland**  
**Date Issued** 26 June 2019

**Prior References**

771316 NA67D/338

---

**Estate** Fee Simple  
**Area** 164.8840 hectares more or less  
**Legal Description** Lot 9 Deposited Plan 487280 and Lot 8, 10  
Deposited Plan 438073

**Registered Owners**

Rauhori Forests Limited as to a 2/3 share  
Forest Habitats Limited as to a 1/3 share

---

**Interests**

Subject to Section 8 Mining Act 1971 (affects part Lot 9 DP 487280 formerly Allotment 257 Parish of Makarau)

Subject to Section 5 Coal Mines Act 1979 (affects part Lot 9 DP 487280 formerly Allotment 257 Parish of Makarau)

Appurtenant to part Lot 8 DP 438073 formerly Lot 23 DP 211770 are rights of way specified in Easement Certificate 654289.8 - 10.11.1977 at 11:15 am

Appurtenant to Lot 8 DP 438073 part formerly Lot 12 DP 80993 is a right of way specified in Easement Certificate 738921.1 - 31.1.1979 at 2:14 pm

D649042.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - produced 16.10.2001 at 12:48 pm and entered 1.11.2001 at 9:00 am (affects Lot 8 DP 438073 formerly Lot 1 DP 209381)

Appurtenant to Lot 8 DP 438073 formerly Lot 1 DP 209381 are rights of way specified in Easement Certificate D649042.7 - produced 16.10.2001 at 12:48 pm and entered 1.11.2001 at 9:00 am

The easements specified in Easement Certificate D649042.7 are subject to Section 243 (a) Resource Management Act 1991

6340490.23 Bond pursuant to Section 108(2)(b) Resource Management Act 1991 Rodney District Council - 9.3.2005 at 9:00 am (Lot 8 DP 438073 formerly Lot 12 DP 80993)

8626918.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.11.2010 at 1:29 pm (affects part Lot 9 DP 487280 formerly Lot 9 DP 438073 and Lot 10 DP 438073)

Subject to a right of way, a right to maintain and drain water and sewage and a right to convey water, electricity, telecommunications, computer media and gas over part Lot 9 DP 487280 marked A and D on DP 487280 created by Easement Instrument 8626918.3 - 3.11.2010 at 1:29 pm

Appurtenant to part Lot 9 DP 487280 formerly Lot 9 DP 438073 and Lot 10 DP 438073 are rights of way, rights to maintain and drain water and sewage and rights to convey water, electricity, telecommunications, computer media and gas created by Easement Instrument 8626918.3 - 3.11.2010 at 1:29 pm

Some of the easements created by Easement Instrument 8626918.3 are subject to Section 243 (a) Resource Management Act 1991 (see DP 419730)

8859294.1 Notice pursuant to Section 195(2) Climate Change Response Act 2002 - 9.9.2011 at 3:06 pm (affects part Lot 9 DP 487280 formerly Lot 9 DP 438073 and Lot 10 DP 438073)

**Identifier****696837**

8859310.1 Notice pursuant to Section 195(2) Climate Change Response Act 2002 - - 9.9.2011 at 3:07 pm (affects Lots 8 DP 438073)

8910184.1 Notice pursuant to Section 195(2) Climate Change Response Act 2002 - - 9.11.2011 at 4:30 pm (affects part Lot 9 DP 487280 formerly Lot 9 DP 438073, Lot 10 DP 438073 and part Lot 8 DP 438073 formerly Lot 9 DP 337037)

8932382.1 Notice pursuant to Section 195(2) Climate Change Response Act 2002 - 5.12.2011 at 4:36 pm (affects part Lot 8 DP 438073 formerly Lot 12 DP 80993)

Subject to Section 241(2) Resource Management Act 1991 (affects DP 438073)

Subject to Section 241(2) Resource Management Act 1991 (affects DP 492213)

10867929.9 COVENANT UNDER SECTION 240 RESOURCE MANAGEMENT ACT 1991 (ALSO AFFECTS RT 542882 and RT 894247) - 11.8.2017 at 3:23 pm (affects part Lot 9 DP 487280 formerly Lot 9 DP 438073, Lots 8 and 10 DP 438073)

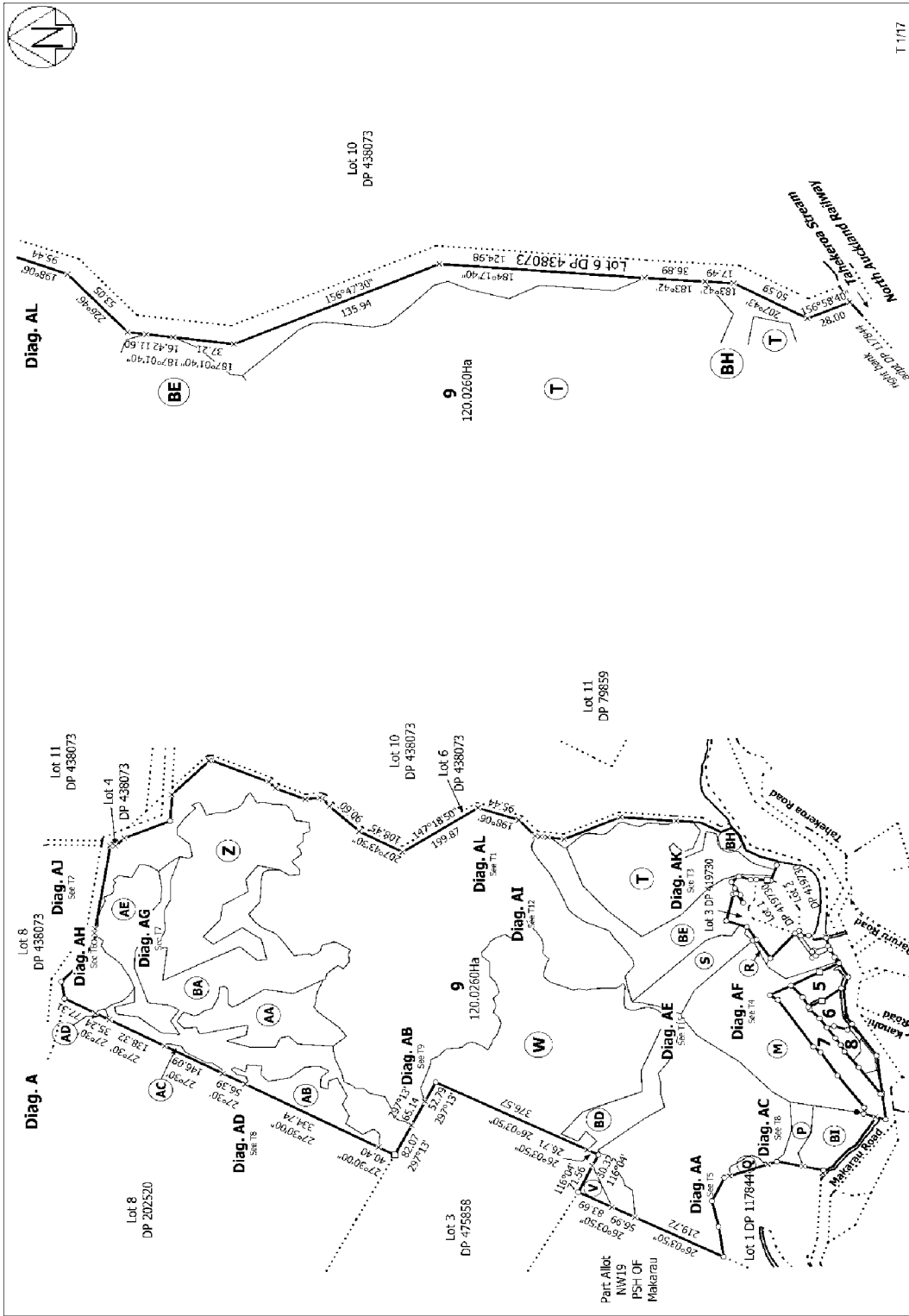
10867929.10 Covenant pursuant to Section 108(2)(d) Resource Management Act 1991 - 11.8.2017 at 3:23 pm (affects part Lot 9 DP 487280 formerly Lot 9 DP 438073 and Lot 10 DP 438073)

Subject to Section 241(2) Resource Management Act 1991 (affects DP 487280)

11476196.6 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 26.6.2019 at 8:40 am (affects Lot 9 DP 487280)

Appurtenant hereto is a right to convey water created by Easement Instrument 11476196.8 - 26.6.2019 at 8:40 am

Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am



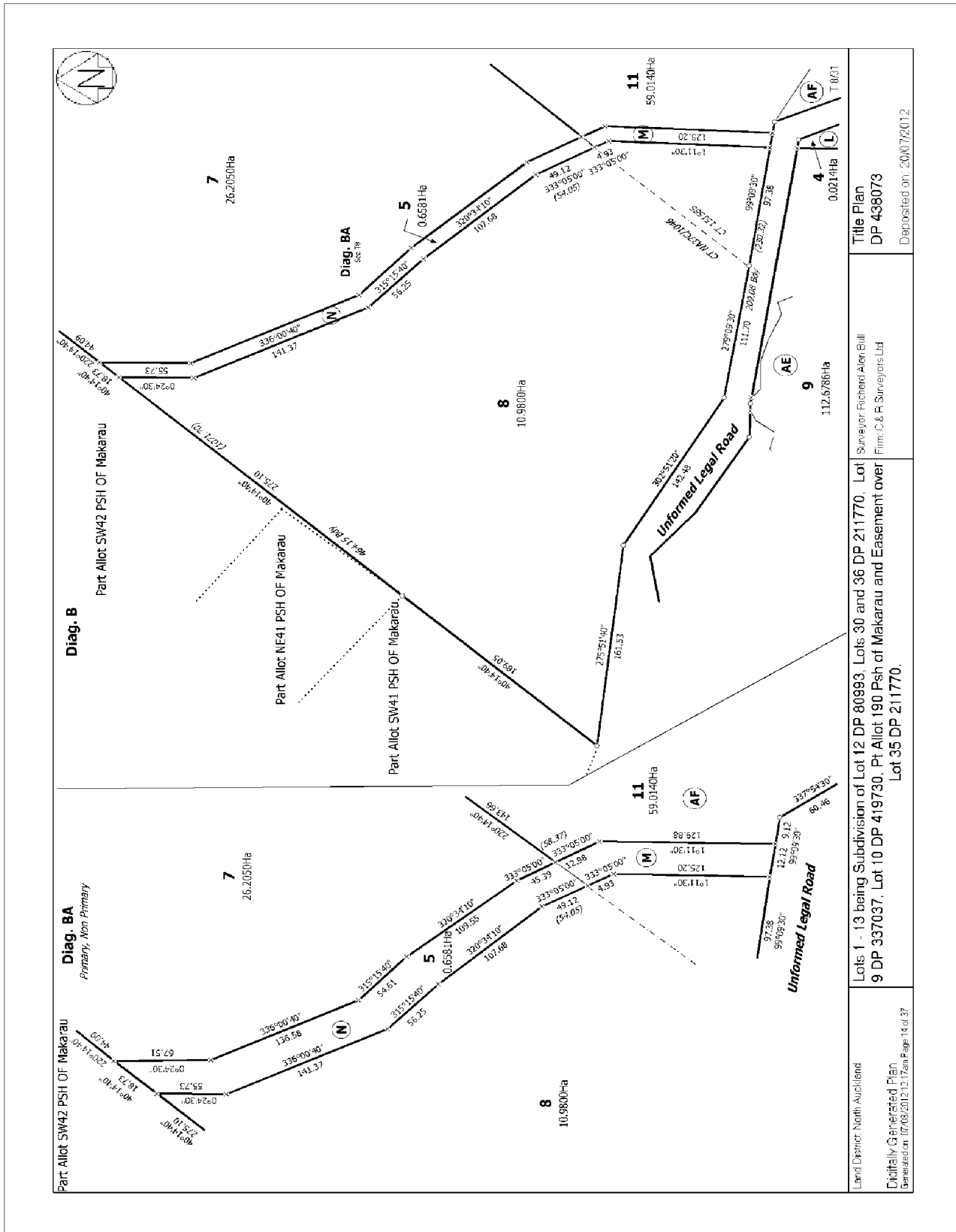
Land District: North Auckland

Digitally Generated Plan  
Generated on: 30/05/2019 10:31 am Page 5 of 21

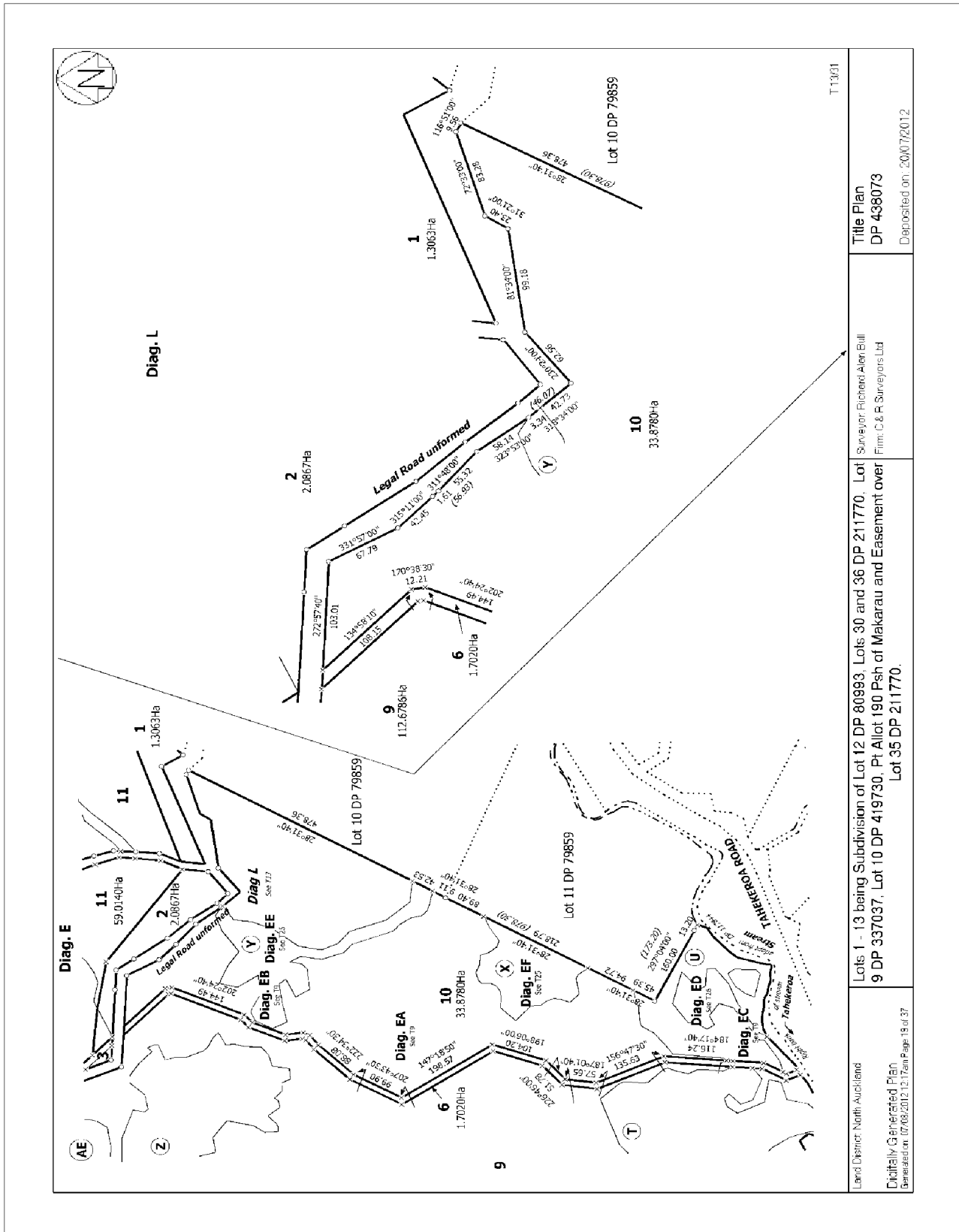
Surveyor: Richard Alan Bull  
Firm: C & R Surveys Ltd

Title Plan  
LT 487280  
Approved on: 30/05/2019

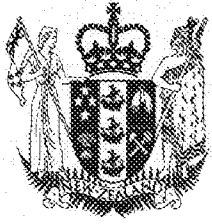
Lot 5 to 9 being Subdivision of Lot 9 DP 438073, Lot 2 DP 117844 and Pt Allot  
17 PSH of Makerau.



<p>Land District: North Auckland</p>	<p>Digitally Generated Plan Generation: 07/08/2012 12:17am Page 14 of 37</p>	<p>Lot 1 - 13 being Subdivision of Lot 12 DP 80993, Lots 30 and 36 DP 211770, Lot 9 DP 337037, Lot 10 DP 419730, Pt Allot 190 Psh of Makarau and Easement over Lot 35 DP 211770.</p>	<p>Surveyor: Richard Allen Bull Firm: G &amp; R Surveyors Ltd</p>
<p>Title Plan DP 438073</p>		<p>Deposited on: 20/07/2012</p>	



<p>Land District: North Auckland</p>	<p>Digitally Generated Plan Generation: 07/08/2012 12:17am Page 19 of 37</p>	<p>Lots 1 - 13 being Subdivision of Lot 12 DP 80993, Lots 30 and 36 DP 211770, Lot 9 DP 337037, Lot 10 DP 419730, Pt Allot 190 Psh of Makarau and Easement over Lot 35 DP 211770.</p>	<p>Surveyor: Richard Allen Bull Firm: C &amp; R Surveyors Ltd</p>
		<p>Title Plan DP 438073</p>	<p>Deposited on: 20/07/2012</p>



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692760**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 1.3063 hectares more or less  
**Legal Description** Lot 6 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

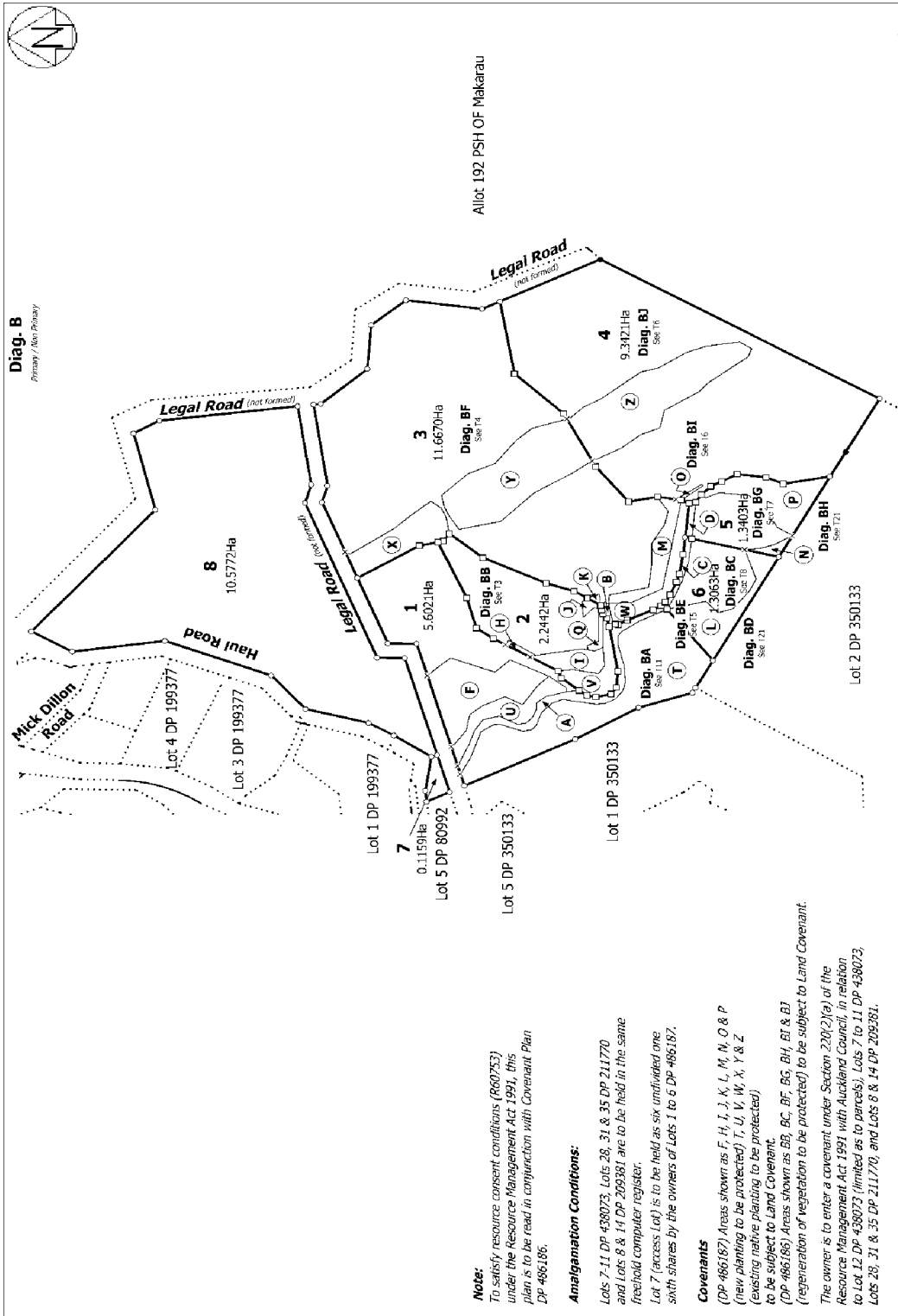
**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm  
Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)  
Subject to a right of way, a right to convey electricity and a right to convey telecommunications and computer media over part Lot 6 DP 486187 marked C on DP 486187 created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
Appurtenant to Lot 6 DP 486187 herein is a right of way, a right to convey electricity and a right to convey telecommunications and computer media created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991  
Subject to a right (in gross) to convey electricity, telecommunications and computer media over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm  
Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am



T 1/21

**Title Plan**  
 LT 486187  
 Approved on: 20/06/2017

Surveyor: Richard Alan Bull  
 Firm: C & R Surveys Ltd

Lot 1-8 being subdivision of Lot 12 & 13 DP 79858.

Land District: North Auckland  
**Digitally Generated Plan**  
 Generated on: 20/06/2017 3:55pm Page 5 of 5

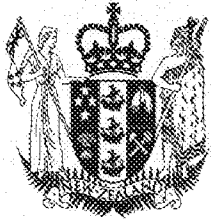
**Note:**  
 To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486186.

**Amalgamation Conditions:**  
 Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
 Lot 7 (access Lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**  
 (DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
 (DP 486186) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.  
 The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.

R60753





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692759**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 1.3403 hectares more or less  
**Legal Description** Lot 5 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

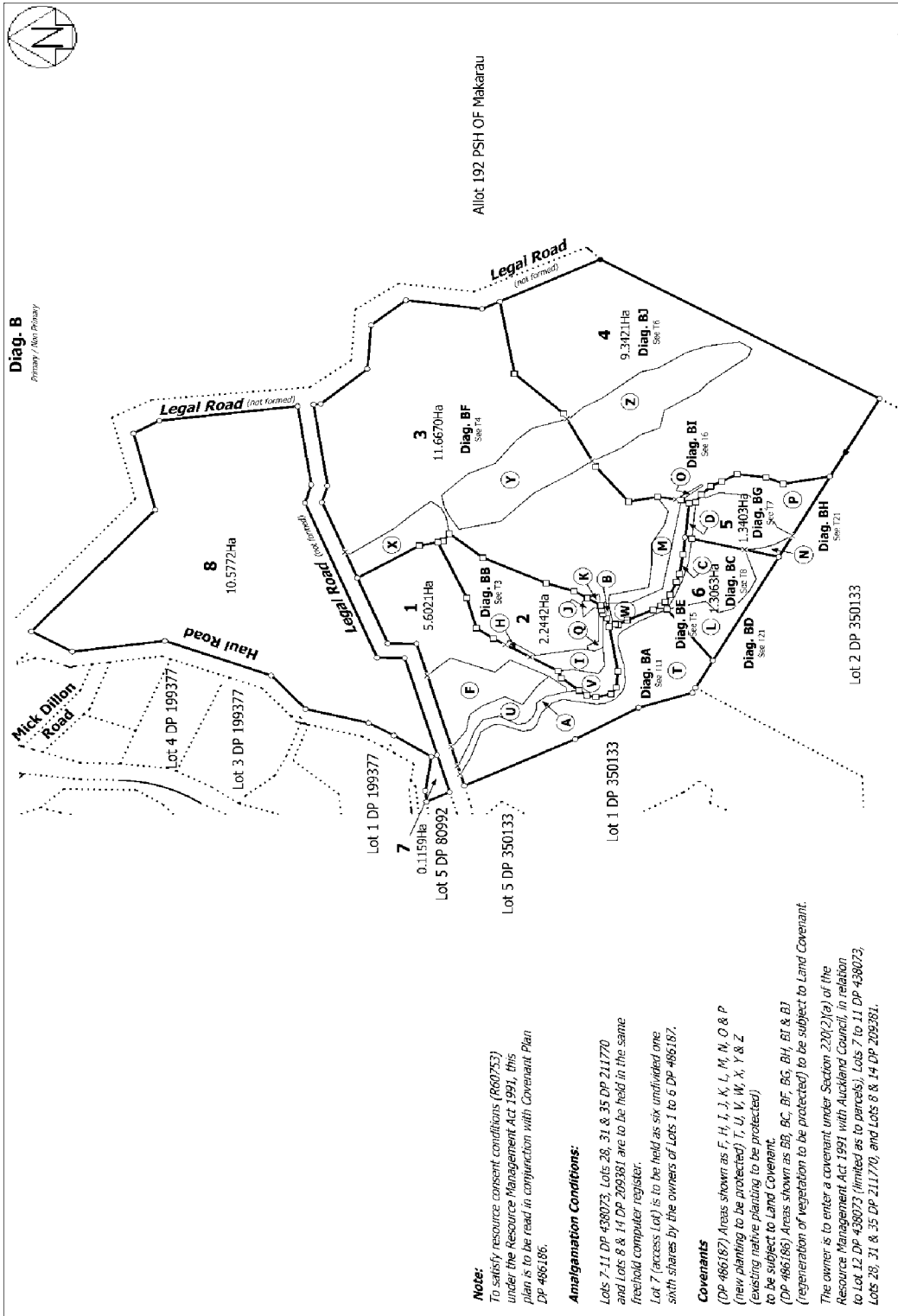
**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm  
Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)  
Subject to a right of way, a right to convey electricity and a right to convey telecommunications and computer media over part Lot 5 DP 486187 marked D on DP 486187 created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
Appurtenant to Lot 5 DP 486187 herein is a right of way, a right to convey electricity and a right to convey telecommunications and computer media created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991  
Subject to a right (in gross) to convey electricity, telecommunications and computer media over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm  
Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am



T 1/21

Allot. 192 PSH OF Makarau

Title Plan  
LT 486187  
Approved on: 20/06/2017

Surveyor: Richard Alan Bull  
Firm: C & R Surveys Ltd

Lots 1-8 being subdivision of Lot 12 & 13 DP 79858.

Land District: North Auckland

Digitally Generated Plan  
Generated on: 20/06/2017 3:55pm Page 5 of 15

**Note:**  
To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486186.

**Amalgamation Conditions:**

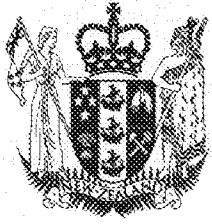
Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
Lot 7 (access Lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**

(DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
(DP 486186) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.

The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.

R60753



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692758**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 9.3421 hectares more or less  
**Legal Description** Lot 4 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm

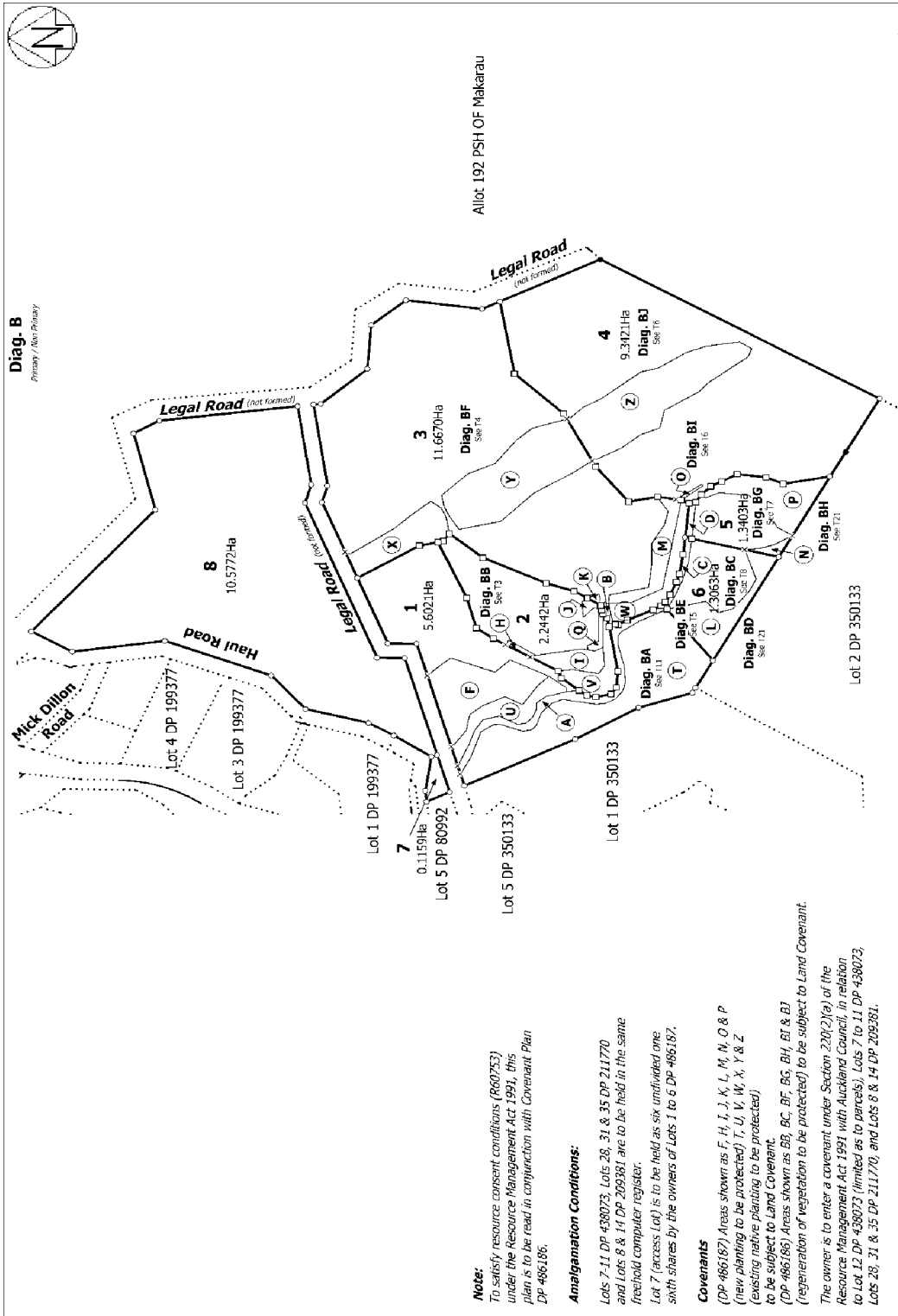
Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)

Appurtenant to Lot 4 DP 486187 herein is a right of way, a right to convey electricity and a right to convey telecommunications and computer media created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm

The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity, telecommunications and computer media over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm

Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am

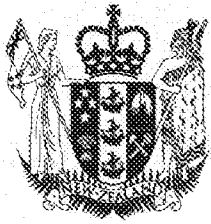


**Note:**  
To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486187.

**Amalgamation Conditions:**  
Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
Lot 7 (access Lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**  
(DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
(DP 486188) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.  
The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.

<p>T 1/21</p>	<p>Surveyor: Richard Alan Bull Firm: C &amp; R Surveys Ltd</p>	<p>Title Plan LT 486187 Approved on: 20/06/2017</p>
<p>Lot 1 DP 199377, Lot 2 DP 350133, Lot 3 DP 199377, Lot 4 DP 199377, Lot 5 DP 80992, Lot 6 DP 199377, Lot 7 DP 80992, Lot 8 DP 199377</p>		
<p>Land District: North Auckland</p>	<p>Lots 1-8 being subdivision of Lot 12 &amp; 13 DP 79858.</p>	<p><b>Digitally Generated Plan</b> Generated on: 20/06/2017 3:55pm Page 5 of 5</p>



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692757**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 11.6670 hectares more or less  
**Legal Description** Lot 3 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

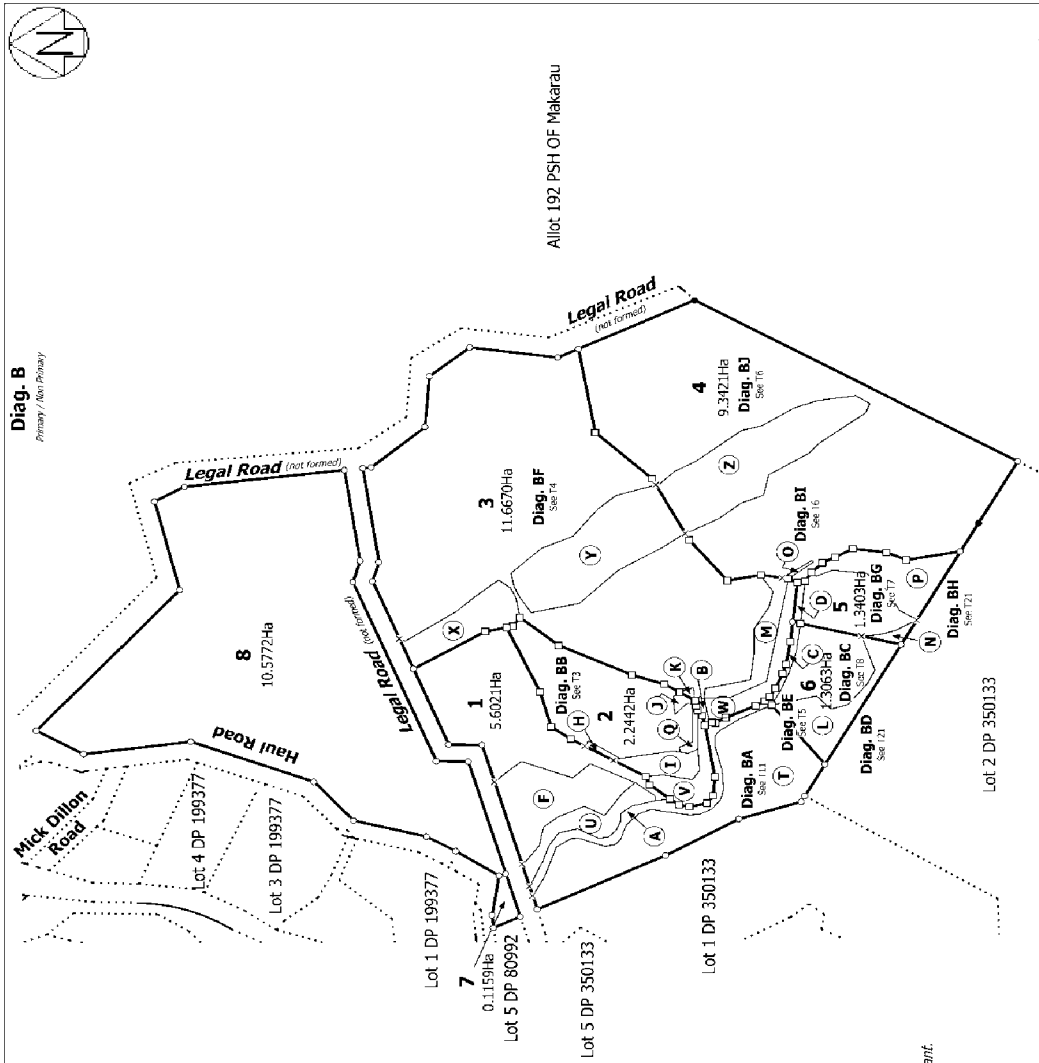
**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm  
Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)  
Subject to a right of way, a right to convey electricity and a right to convey telecommunications and computer media over part Lot 3 DP 486187 marked B on DP 486187 created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
Appurtenant to Lot 3 DP 486187 herein is a right of way, a right to convey electricity and a right to convey telecommunications and computer media created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm  
The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991  
Subject to a right (in gross) to convey electricity, telecommunications and computer media over part Lot 3 DP 486187 marked B on DP 486187 and over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm  
Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am



T 1/21

**Title Plan**  
 LT 486187  
 Approved on: 20/06/2017

Surveyor: Richard Alan Bull  
 Firm: C & R Surveys Ltd

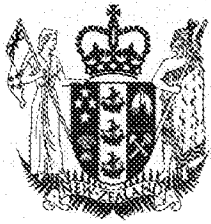
Lot 1-8 being subdivision of Lot 12 & 13 DP 79858.

Land District: North Auckland  
**Digitally Generated Plan**  
 Generated on: 20/06/2017 3:55pm Page 5 of 5

**Note:**  
 To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486186.

**Amalgamation Conditions:**  
 Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
 Lot 7 (access lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**  
 (DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
 (DP 486186) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.  
 The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **692756**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 August 2017

**Prior References**

NA36C/816 NA36C/817

---

**Estate** Fee Simple  
**Area** 2.2442 hectares more or less  
**Legal Description** Lot 2 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Estate** Fee Simple - 1/6 share  
**Area** 1159 square metres more or less  
**Legal Description** Lot 7 Deposited Plan 486187

**Registered Owners**

SH 16 Limited

---

**Interests**

10867929.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.8.2017 at 3:23 pm

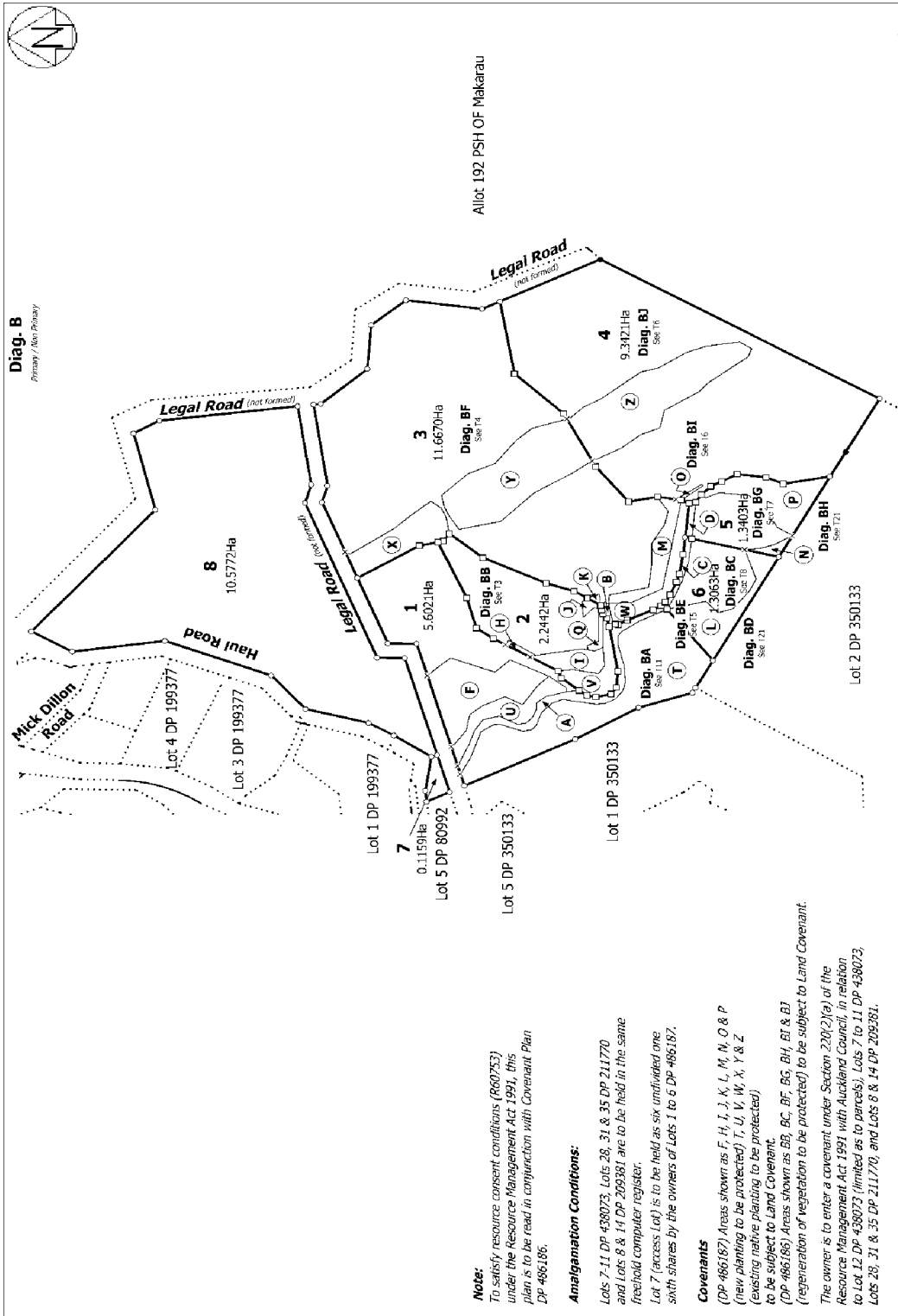
Subject to Section 241(2) Resource Management Act 1991 (affects DP 486187)

Appurtenant to Lot 2 DP 486187 herein is a right of way, a right to convey electricity and a right to convey telecommunications and computer media created by Easement Instrument 10867929.7 - 11.8.2017 at 3:23 pm

The easements created by Easement Instrument 10867929.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity, telecommunications and computer media over part Lot 2 DP 486187 marked Q on DP 486187 and over the within Lot 7 DP 486187 in favour of SH 16 Limited created by Easement Instrument 10867929.8 - 11.8.2017 at 3:23 pm

Land Covenant in Covenant Instrument 11497013.2 - 16.7.2019 at 9:41 am



**Note:**  
To satisfy resource consent conditions (R60753) under the Resource Management Act 1991, this plan is to be read in conjunction with Covenant Plan DP 486187.

**Amalgamation Conditions:**  
Lots 7-11 DP 438073, Lots 28, 31 & 35 DP 211770 and Lots 8 & 14 DP 209381 are to be held in the same freehold computer register.  
Lot 7 (access Lot) is to be held as six undivided one sixth shares by the owners of Lots 1 to 6 DP 486187.

**Covenants**  
(DP 486187) Areas shown as F, H, I, J, K, L, M, N, O & P (new planting to be protected), T, U, V, W, X, Y & Z (existing native planting to be protected) to be subject to Land Covenant.  
(DP 486188) Areas shown as BG, BC, BF, BS, BH, BI & BJ (regeneration of vegetation to be protected) to be subject to Land Covenant.  
The owner is to enter a covenant under Section 220(2)(a) of the Resource Management Act 1991 with Auckland Council, in relation to Lot 12 DP 438073 (limited as to parcels), Lots 7 to 11 DP 438073, Lots 28, 31 & 35 DP 211770, and Lots 8 & 14 DP 209381.

R60753

Land District: North Auckland

**Digitally Generated Plan**  
Generated on: 20/06/2017 5:56pm Page 5 of 5

Lot 1 DP 199377  
Lot 2 DP 350133  
Lot 3 DP 199377  
Lot 4 DP 199377  
Lot 5 DP 80992  
Lot 6 DP 350133  
Lot 7 DP 199377  
Lot 8 DP 350133

Diag. B  
Primary / Main Plan  
T 1/21  
Title Plan  
LT 486187  
Approved on: 20/06/2017

Surveyor: Richard Alan Bull  
Firm: C & R Surveys Ltd

Surveyor: Richard Alan Bull  
Firm: C & R Surveys Ltd

Lot 1-8 being subdivision of Lot 12 & 13 DP 79858.